

AUG 13 10 25 AM '73

TITLE TO REAL ESTATE—Offices of Earle, Bozeman & Grayson, Attorneys at Law, Greenville, S. C.

DONNIE S. BOZEMAN
R.M.C.

STATE OF SOUTH CAROLINA }
COUNTY OF GREENVILLE }

Greenville County
Stamps
Paid \$ 14.85
Act No. 380 Sec. 1

KNOW ALL MEN BY THESE PRESENTS, that I, John M. Flynn

In consideration of Thirteen Thousand, Two Hundred and No/100 (\$13,200.00) ----- Dollars,
and assumption of loan as set out below:
the receipt of which is hereby acknowledged, have granted, bargained, sold, and released, and by these presents do grant, bargain, sell and release
unto Brian A. Leach and Nancy K. Leach, their heirs and assigns forever:

All that certain piece, parcel, or lot of land, situate, lying and being in the State of South Carolina, County of Greenville, situate at the corner of Cape Charles Drive and Hudson Road and being known and designated as Lot 59 of Pelham Estates Section 1 as shown on plat recorded in the R. M. C. Office for Greenville County in Plat Book PPP at Pages 28 and 29 and having the following metes and bounds, to-wit:

BEGINNING at an iron pin on the eastern side of Hudson Road, joint front corner of Lots 58 and 59 and running thence with the joint line of said lots, S. 58-05 E. 200 feet to an iron pin in the line of Lot 78; thence with the line of Lot 78, S. 31-55 W. 180 feet to an iron pin on the northern side of Cape Charles Drive; thence with the northern side of Cape Charles Drive, N. 58-05 W. 175 feet to an iron pin on the northern side of Cape Charles Drive; thence with the curve of Cape Charles Drive and Hudson Road, the chord of which is N. 13-05 W. 35.4 feet to an iron pin on the eastern side of Hudson Road; thence with Hudson Road, N. 31-55 E. 155 feet to the beginning corner; being the same conveyed to me by C. Richard Bobear by deed dated December 28, 1972 and recorded in the R. M. C. Office for Greenville County in Deed Vol. 964 at Page 21.

- 202 - 543.6 - 1/2 Sq.

This conveyance is made subject to any restrictions, reservations, zoning ordinances or easements that may appear of record, on the recorded plat(s) or on the premises.

The Grantees herein expressly assume and agree to pay the balance due on a certain note and mortgage executed by John M. Flynn on the 16th day of May, 1973, in the original sum of \$52,800.00, in favor of First Federal Savings and Loan Association

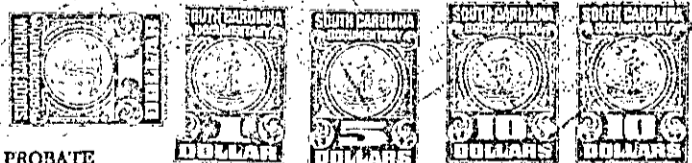
together with all and singular the rights, members, hereditaments and appurtenances to said premises belonging or in any wise incident or appertaining; to have and to hold all and singular the premises before mentioned unto the grantee(s), and the grantee(s)' heirs or successors and assigns, forever. And, the grantor(s) do(es) hereby bind the grantor(s) and the grantor(s)' heirs or successors, executors and administrators to warrant and forever defend all and singular said premises unto the grantee(s) and the grantee(s)' heirs or successors and against every person whomsoever lawfully claiming or to claim the same or any part thereof.

WITNESS the grantor's(s)' Land(s) and seal(s) this 9th day of August 19 73

SIGNED, sealed and delivered in the presence of:

John M. Flynn (SEAL)
John M. Flynn

Mary S. Martin
Donnie S. Bozeman



STATE OF SOUTH CAROLINA }
COUNTY OF GREENVILLE }

PROBATE

Personally appeared the undersigned witness and made oath that (s)he saw the within named grantor(s) sign, seal and as the grantor's(s)' act and deed deliver the within written deed and that (s)he, with the other witness subscribed above witnessed the execution thereof.

SWORN to before me this 9th day of August 1973

Donnie S. Bozeman (SEAL)
Notary Public for South Carolina.

Mary S. Martin

My Commission Expires: 8-14-74

STATE OF SOUTH CAROLINA }
COUNTY OF GREENVILLE }

RENUNCIATION OF DOWER

I, the undersigned Notary Public, do hereby certify unto all whom it may concern, that the undersigned wife (wives) of the above named grantor(s) respectively, did this day appear before me, and each, upon being privately and separately examined by me, did declare that she does freely, voluntarily, and without any compulsion, greed or fear of any person whomsoever, renounce, release and forever relinquish unto the grantee(s) and the grantee's(s)' heirs or successors and assigns, all her interest and estate, and all her right and claim of dower of, in and to all and singular the premises within mentioned and released.

GIVEN under my hand and seal this

9th day of August 1973

Donnie S. Bozeman (SEAL)
Notary Public for South Carolina.

Madelyn C. Flynn
Madelyn C. Flynn

My Commission Expires: 8-14-74

RECORDED this _____ day of _____ 19____ at _____ M., No. _____